



CITY OF ST. PETERSBURG, FLORIDA
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

STAFF REPORT

Community Planning and Preservation Commission
Certificate of Appropriateness Request

For **Public Hearing** and **Executive Action** on January 14, 2019 beginning at 2:00 p.m. in the Main Auditorium at the Sunshine Center, 330 Fifth Street North, St. Petersburg, Florida

According to Planning and Development Services Department records, Jeff Wolf resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.



Case No.:	19-90200063
Address:	1001 Bay Street Northeast
Legal Description:	BAYVIEW ADD BLK 8, W 50FT OF LOT 7
Parcel ID No.:	18-31-17-05274-008-0070
Date of Construction:	Circa 1923
Local Landmark:	200 Block of 10 th Avenue Northeast Historic District (17-90300004) – Contributing Property
Owner:	Peter and Lani Ford
Request:	Request for the approval of a Certificate of Appropriateness for the alteration of a garage and change in roofing material for the main house and garage from asphalt shingles to v-crimp metal roofing

Historical Context and Significance

The Frame Vernacular residence with Craftsman details at 1001 Bay St NE¹ was constructed circa 1923 and designated as a contributing property to both 200 Block of 10th Avenue Northeast Historic District (17-90300004) and the North Shore National Register Historic District. Because of its location within the 200 Block of 10th Avenue Northeast Historic District, a Certificate of Appropriateness (COA) is required for exterior alteration. Per the City's COA Matrix, roofing projects that involve a change in materials require review by the Community Planning and Preservation Commission (CPPC).

Project Description and Review

Project Description

The COA application (Appendix A) proposes the alteration to the garage apartment building in the rear. The structure is a two-story frame structure that historically had a second-story balcony extending past the first-floor façade (see Figure 1). Since then, the balcony has been enclosed, and the first floor of the garage was extended outwards to be flush with the outer wall of the second-floor porch. The materials used to the extend the first floor of the garage have deteriorated and need to be replaced. The owner is proposing to push the front façade back three feet, closer to what the building originally had, while installing a new garage door that could fit the size of a present-day car. The owner is also proposing to replace the second-floor windows on the porch with new vinyl, single-hung windows.

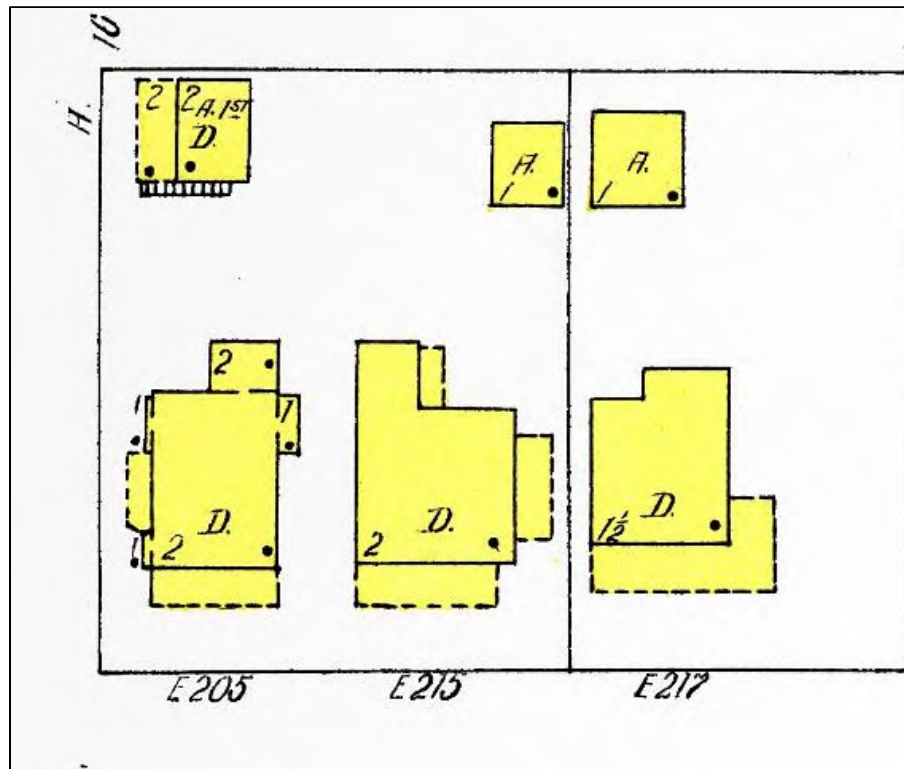


Figure 1: 1923 Sanborn map of subject property. Primary residence and garage apartment building are outlined in red.

¹ Historically addressed as East 205 10th Avenue North.

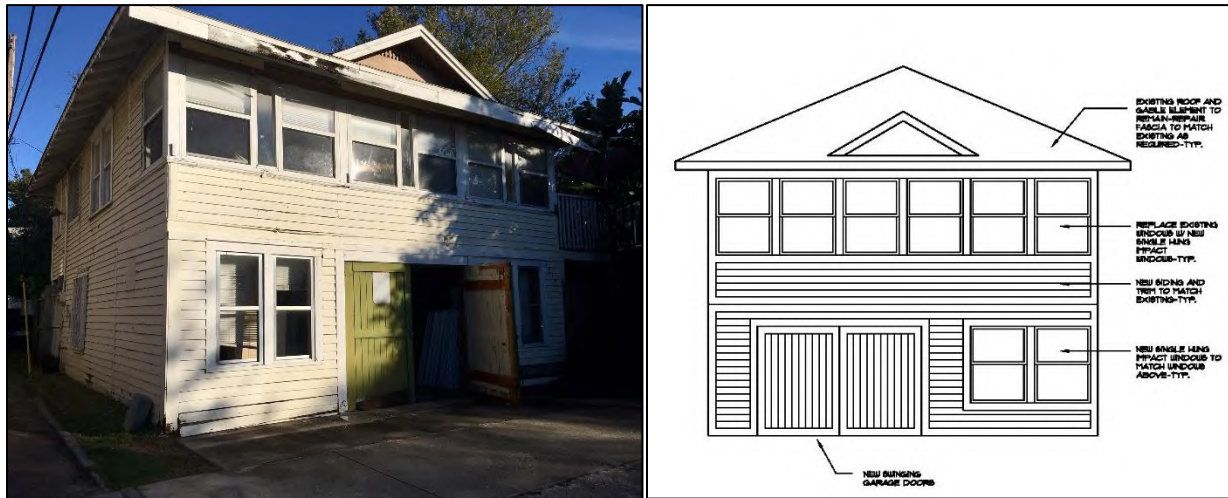


Figure 2: Existing garage apartment on left. Proposed elevation on right.

The application also includes the removal of existing asphalt shingle roof cladding on the main house and the garage with the replacement of 5-V crimp metal as shown in Figure 3.



Figure 3: A garage apartment building located directly across Bay Street with v-crimp roofing. This building is situated outside of the local historic district, but is of the same time period as the subject garage apartment.

General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

The work proposed for the garage apartment will include much needed repairs to exterior and structural elements of the building. While the proposed work won't completely restore the original front façade of the building, the new first-floor facade will be closer to the historic configuration of the building, while returning the first-floor of the building to its original function as a garage. Due to the size of present-day cars, the garage door needs to be wider than the current garage door. The proposed windows on the second floor will be vinyl, single-hung windows, arranged in a way so that the façade will read as an enclosed porch.

The proposed roof alteration will introduce metal roofing material to the subject property where an asphalt/composite shingle cladding presently exists. Property records do not indicate the original roof material. The earliest Sanborn Map to depict the area and the subject property dates to 1923 and indicates that the primary residence and garage apartment building featured a "composition" roof, likely indicating asphalt shingles (Figure 1). According to the St. Petersburg's *Design Guidelines for Historic Properties*, Frame Vernacular buildings originally had wood shingles, asphalt roll-roofing, galvanized metal shingles, or galvanized 5-V crimp metal panels.²

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

The proposed changes to the first floor of the garage apartment appears to meet this criterion. The proposed roofing material of 5V-crimp may not meet this criterion. The subject property is one of 14 properties in the 200 Block local historic district. All properties, but one, are listed as contributing resources. All of the contributing properties in the district have asphalt shingles in various shades of grey and brown. This appears to be consistent with historic conditions, as the Sanborn maps depict the structures in the local historic district with "composition" roofing material. The one noncontributing property in the district does have 5V-crimp roofing. The building's status as a noncontributing resource was due to large additions, not because of the roofing material.

² City of St. Petersburg, *Design Guidelines for Historic Properties*, 17.

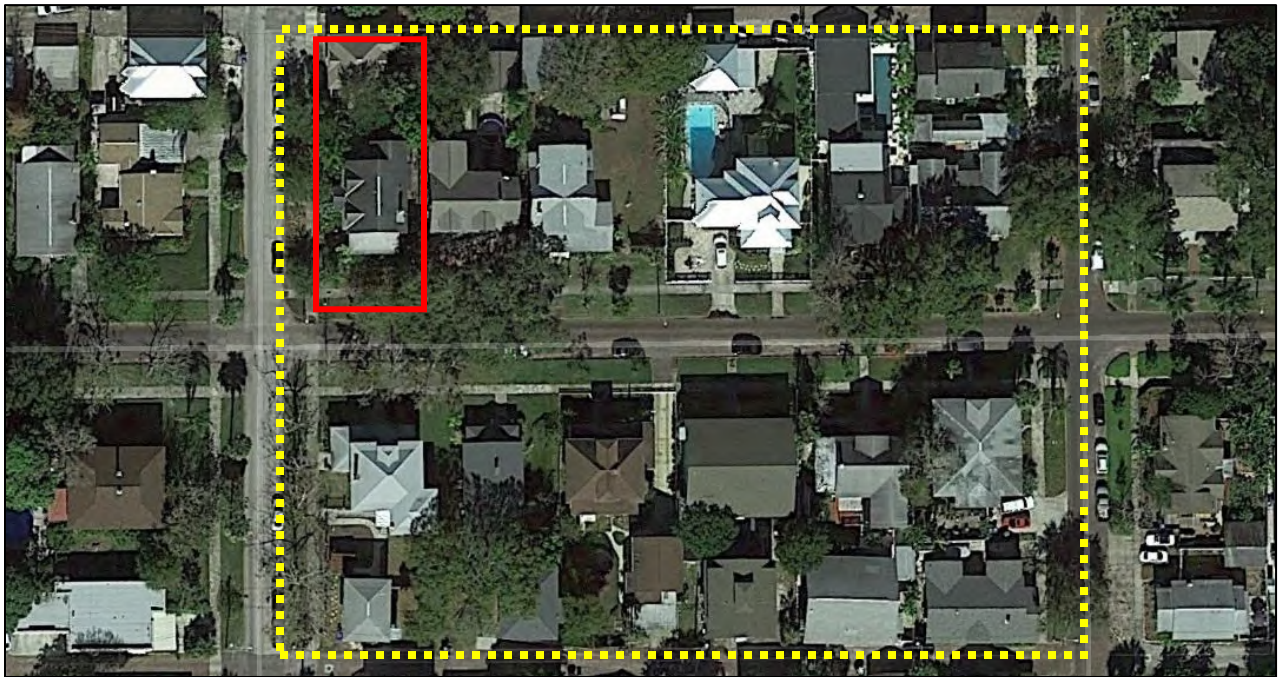


Figure 4: Google Earth Aerial dated January 9, 2019

Property records have captured the roof of the subject property being replaced multiple times over its nearly hundred-year lifespan. In 1962 and 1964, permits were issued for the reroofing of the residence “Class C” roof. Limited research has revealed that Class C roofing indicates that roofing material is fire retardant. In 1980, a permit was issued to reroof the garage apartment building with new “classic shingles.”

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

The alterations to the garage apartment will have no impact on the local historic district, but the proposed 5V-crimp roofing material will add a more uncommon roofing material to a small local historic district, where almost every structure has asphalt shingles. St. Petersburg’s *Design Guidelines for Historic Properties* additionally note that metal panel roof cladding is found on Frame Vernacular-style homes in the city.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

There is no indication that denial of a COA would substantially adversely affect the property owner’s use of the subject property.

5. *Whether the plans may be reasonably carried out by the applicant.*

The proposed project appears to be appropriate under this criterion.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

This criterion is not applicable to the proposed project.

Additional Guidelines for Alterations

1. *A local landmark should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

The proposed property appears to meet this criterion as it remains in use as a residence.

2. *The distinguishing historic qualities or character of a building, structure, or site and its environment shall be preserved. The removal or alteration of any historic material or distinctive architectural features shall be avoided when reasonable.*

The changes to the garage apartment appear to meet this criterion.

The proposed roofing change may not meet this criterion, as it introduces a roofing material that lacks strong evidence of historic precedent to the subject property. On the other hand, the *Design Guidelines* state that 5V-crimp roofing material is a common roofing material for Frame Vernacular buildings in St. Petersburg.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings without sufficient documentary evidence, shall not be undertaken.*

As noted above, staff does not have conclusive evidence of the original roofing material at the subject property, but evidence suggests that the roofing material was most likely a type of asphalt shingle, which is the same roofing material on the other contributing resources in the district.

As noted above, the *Design Guidelines* state that 5V-crimp roofing was a common material for Frame Vernacular buildings.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved, as appropriate.*

Evidence in the form of documentation by historic Sanborn Maps (Figure 1: 1923 Sanborn map of subject property. Primary residence and garage apartment building are outlined in red.) suggests that the roof material of the primary structure and the garage apartment was “composition” at least as early as 1923. However, the exact appearance of the composition roofing employed during the historic era is unknown. A simple asphalt shingle, similar to what currently exists, appears to be common for the district.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

The proposed project appears to meet this criterion.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, texture, and other visual qualities and, where reasonable, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The proposed changes to the garage apartment include the removal of deteriorated features that are not original to the building (see Appendix C). The portion of the first-floor garage that was enclosed has deteriorated structural members along with more recently installed wood members. There is little historic fabric that will be removed for this proposed project, and in fact, the proposed floorplan will bring the

building back to a more historically appropriate footprint. The new windows will be arranged so that it will be obvious that the second-floor was an enclosed porch.

The existing asphalt roof cladding on the two structures does appear to be in a deteriorated condition and needs to be replaced. The new roofing material, 5V-crimp, has not been substantiated by physical or pictorial evidence, but the roofing material has been noted to have been historically used on buildings of that architectural style.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

This criterion is not relevant to the proposed project.

8. *Significant archaeological resources affected by a project shall be protected and preserved if designated pursuant to this section. If such resources must be disturbed, mitigation measures shall be undertaken.*

This criterion is not relevant to the proposed project.

Staff Recommendation

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve** the Certificate of Appropriateness request for the alteration of the property at 1001 Bay St NE, a contributing property to the 200 Block of 10th Avenue Northeast Local Historic District, for the following reasons:

- The garage apartment is in need of repair, and the proposed changes will remove non-historic materials added at a later date, and will bring the building back to a more historically appropriate form.
- Staff finds that the most appropriate replacement for roofing material should be asphalt shingles that are similar to what currently exists, but the *Design Guidelines* state that 5V-crimp roofing is noted to be locally appropriate to the architectural style.

References

City of St. Petersburg. *Design Guidelines for Historic Properties*. 2017. On file, City of St. Petersburg.
Jester, Thomas C., ed. *Twentieth-Century Building Materials: History and Conservation*. Washington, D.C.: Archetype Press. 1995.

Appendix A:

Application No. 19-90200063

19-90200063



CERTIFICATE OF APPROPRIATENESS

APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

GENERAL INFORMATION

1001 Bay St NE
Property Address

10th Ave NE
Historic District / Landmark Name

Peter Ford
Owner's Name

1001 Bay St NE
Owner's Address, City, State, Zip Code

CITY OF ST. PETERSBURG

NOV 18 2019

PLANNING & DEVELOPMENT SERVICES

18-31-17-05274-008-0070
Parcel Identification No.

Corresponding Permit Nos.

727 410-2931

Property Owner's Daytime Phone No.

peter@terrierproperties.com
Owner's Email

Authorized Representative (Name & Title), if applicable

Representative's Daytime Phone No.

Owner's Address, City, State, Zip Code

Representative's Email

APPLICATION TYPE (Check applicable)

Addition
New Construction
Demolition
Relocation
Other:
Window Replacement
Door Replacement
Roof Replacement
Mechanical (e.g. solar)

TYPE OF WORK (Check applicable)

Repair Only
In-Kind Replacement
New Installation
Other: Replace roof
Repair / rebuild carriage
house front wall

AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES: 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner:

Date:

11/14/2019

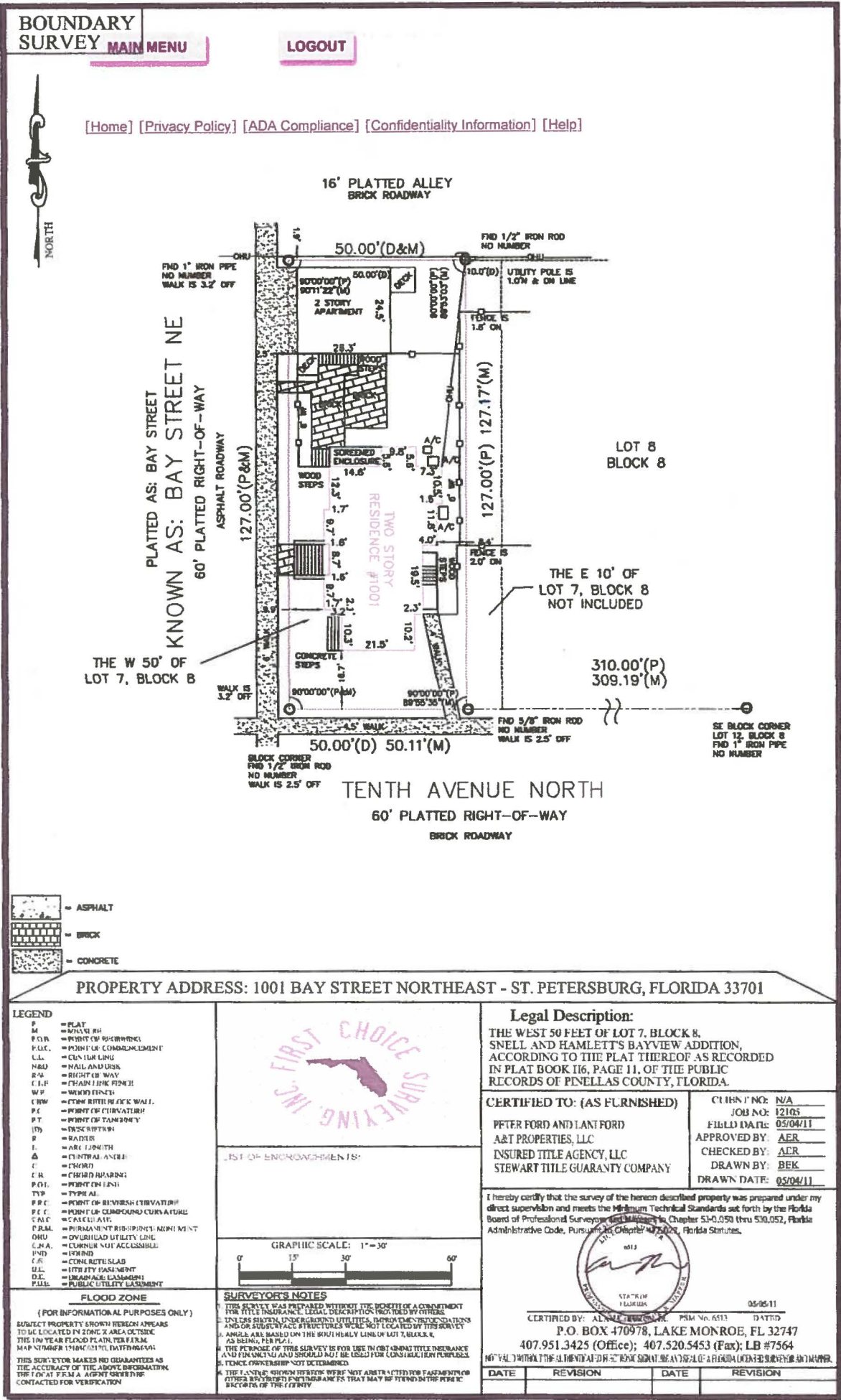
Signature of Representative:

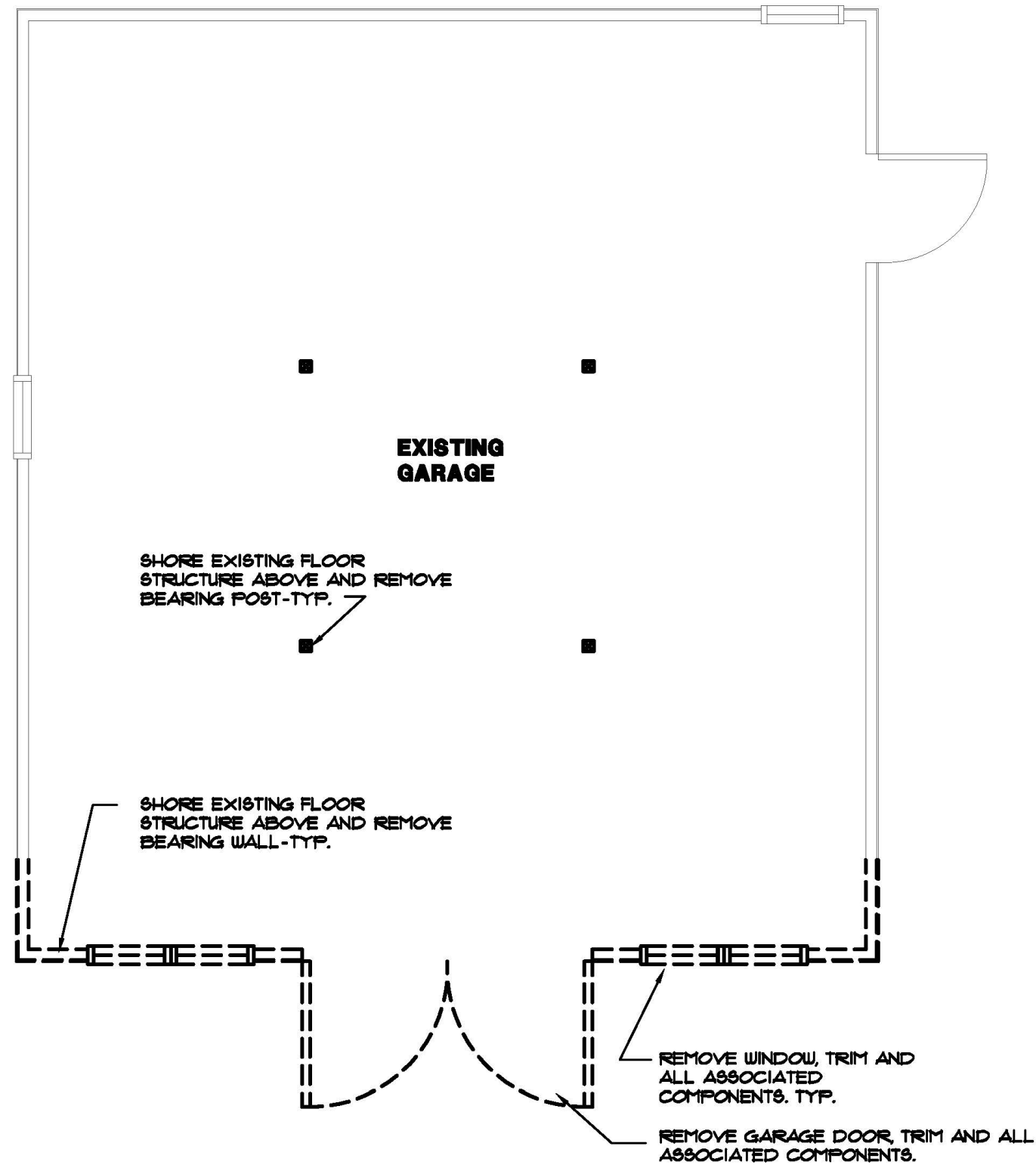
Date:

- Replace leaking shingle roof on main and carriage houses with historically appropriate 5V Crimp metal roofing.

- Replace lower front facade of carriage house due to poor construction and wood rot.
Replace existing inadequate garage door with new 12' carriage house style overhead door.
Replace existing aluminum windows with 2 36x50 1/1 windows to match original existing windows.

- Inset front lower carriage house wall 3' to replicate original inset.





**FIRST FLOOR
DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"

DEMOLITION LEGEND:

- GENERAL DEMOLITION
----- EXISTING TO REMAIN

DEMOLITION NOTES:

- DEMOLISH AND REMOVE EXISTING CONSTRUCTION TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AS INDICATED WITHIN THE DRAWINGS.
- CONTRACTOR TO REPAIR DAMAGE TO ADJACENT CONSTRUCTION CAUSED BY DEMOLITION OPERATIONS.
- CONTRACTOR TO RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND INTO ADJOINING CONSTRUCTION IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.
- CONTRACTOR TO PROPERLY DISPOSE OF ALL BUILDING REMOVED DURING DEMOLITION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS INCLUDING LOAD BEARING STRUCTURAL WALLS PRIOR TO DEMOLITION. CONTRACTOR SHALL SHORE EXISTING STRUCTURAL WALLS AND CONSTRUCT ANY OR ALL NEW STRUCTURAL ELEMENTS PRIOR TO REMOVAL OF SHORING CONTRACTOR SHALL COORDINATE WITH OWNER DEMOLISHED MATERIAL TO BE RETURNED TO OWNER.

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

Demolition Plan

Project No. 2019-283R	Revisions:
Date Dec. 15, 2019	



MICHAEL ARRIGO
LIC. NO. AR0017335

d1.1

1001 Bay ST NE

Renovation

St. Petersburg,

Florida



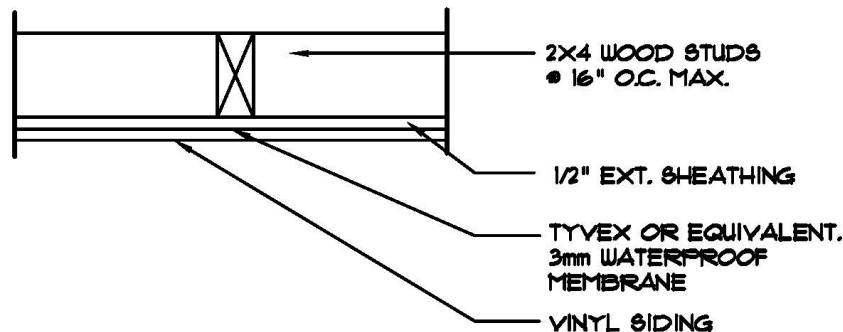
architects • planners

Lic. # AA-0003347
2600 Dr. MLK Jr. Street N. Suite 600,
(p) 727-323-5676
info@architectonicsstudio.com

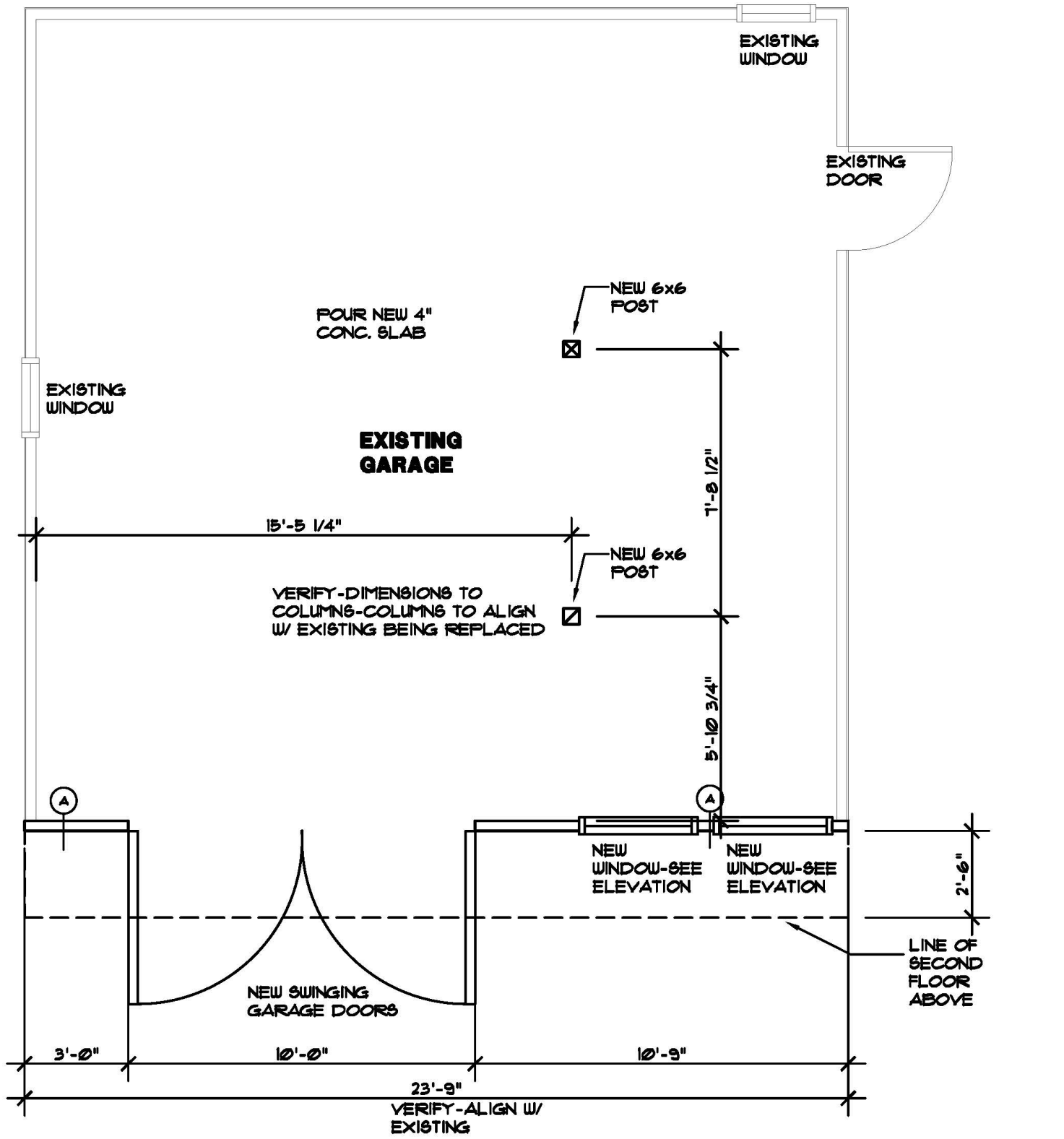
St. Petersburg, FL 33704
(f) 727-323-5626
www.architectonicsstudio.com

WALL TYPES:

SCALE: 1 1/2" = 1'-0"
NOTES:
1. PROVIDE WATER RESISTANT BACKER BOARD IN LIEU OF GYPSUM BOARD AT ALL CERAMIC TILE WALLS.
2. THE EXTERIOR OF THE BUILDING SHALL BE SEALED CONTINUOUS FROM WATER INTRUSION. ALL PENETRATIONS SHALL BE SEALED FROM MOISTURE AND AIR INFILTRATION.

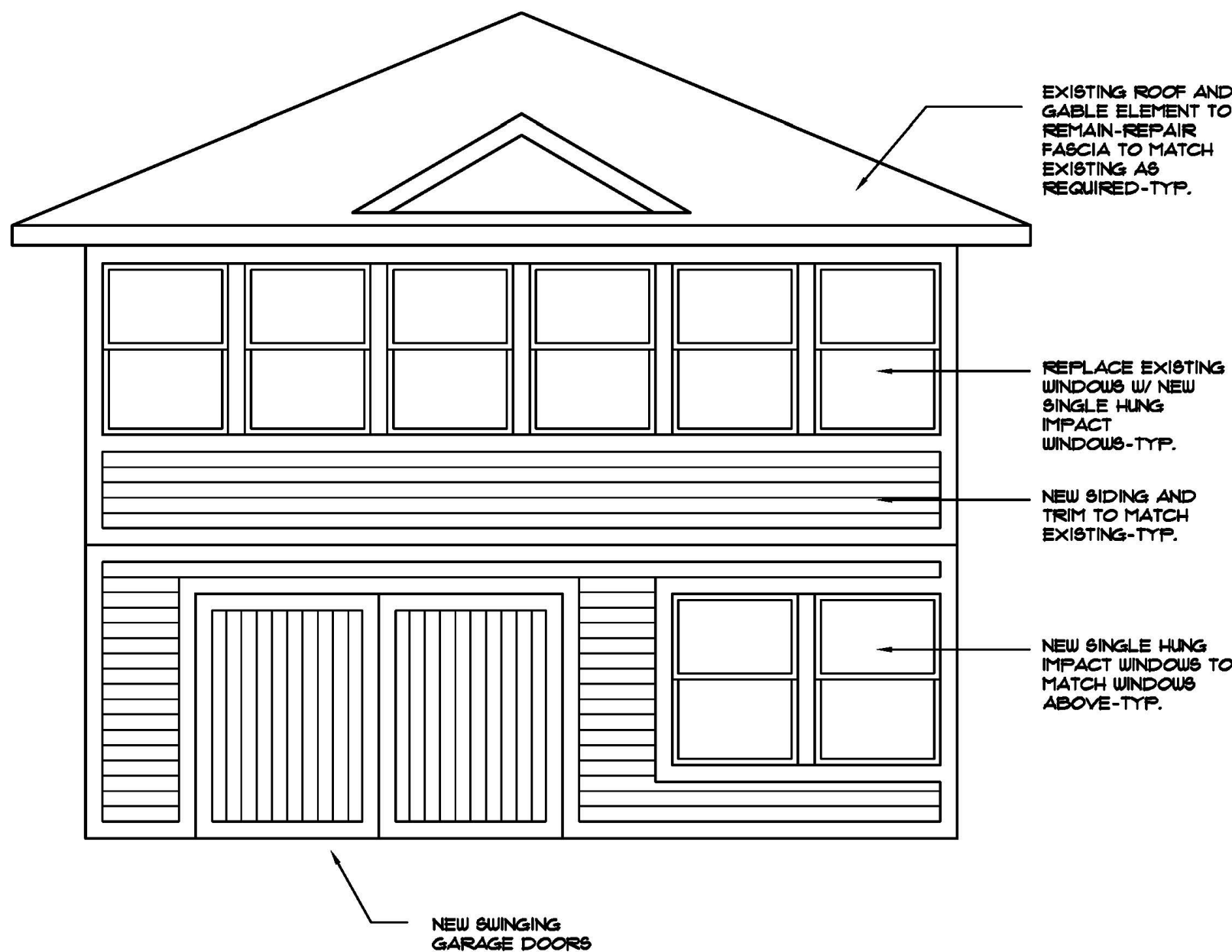


WALL TYPE A



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



ELEVATION

SCALE: 1/4" = 1'-0"

LEGEND:

- 15 GENERAL CONSTRUCTION NOTE
- 2 au SECTION DETAIL
- 1 au PLAN DETAIL
- 2 au ELEVATION SYMBOL

BUILDING DATA

THE BUILDING RENOVATION SHALL CONFORM TO THE FOLLOWING APPLICABLE CODES:
FLORIDA BUILDING CODE 6TH EDITION (2017)
FLORIDA MECHANICAL CODE 6TH EDITION (2017)
FLORIDA PLUMBING CODE 6TH EDITION (2017)
FLORIDA EXISTING BUILDING 6TH EDITION (2017)
FLORIDA FUEL GAS 6TH EDITION (2017)
FLORIDA BUILDING CODE-ENERGY CONSERVATION 6TH EDITION (2017)
FLORIDA BUILDING CODE-TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES 6TH EDITION (2017)
FLORIDA FIRE PREVENTION CODE 6TH EDITION
FLORIDA ACCESSIBILITY CODE 6TH EDITION (2017)
2014 NATIONAL ELECTRIC CODE (NFPA 70)
DESIGN LOADS PER STRUCTURAL DRAWINGS
BUILDING OCCUPANCY: R-3
CONSTRUCTION TYPE: TYPE V-B STUD EXTERIOR BUILDING
UNSPRINKLERED ALTERATION - LEVEL 2

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

Floor Plan

Revisions:	
Project No.	2019-283R
Date	Dec. 15, 2019



MICHAEL ARRIGO
L.C. NO. AR0017335

a1.1

WIND PRESSURE FOR ROOF COMPONENTS AND CLADDING (P.S.F.)

145 MPH ULTIMATE WIND LOAD

OPENING AREA		ROOF ANGLE 1-21 DEGREES		
		1	2	3
10 FT. SQ.	PRESSURE	+5.9 PSF	+5.9 PSF	+5.9 PSF
	SUCTION	-24.8 PSF	-43.1 PSF	-64.1 PSF
20 FT. SQ.	PRESSURE	+4.5 PSF	+4.5 PSF	+4.5 PSF
	SUCTION	-23.6 PSF	-39.3 PSF	-59.3 PSF
50 FT. SQ.	PRESSURE	+2.8 PSF	+2.8 PSF	+2.8 PSF
	SUCTION	-23.0 PSF	-35.1 PSF	-54.5 PSF
100 FT. SQ.	PRESSURE	+2.1 PSF	+2.1 PSF	+2.1 PSF
	SUCTION	-22.4 PSF	-31.5 PSF	-50.2 PSF

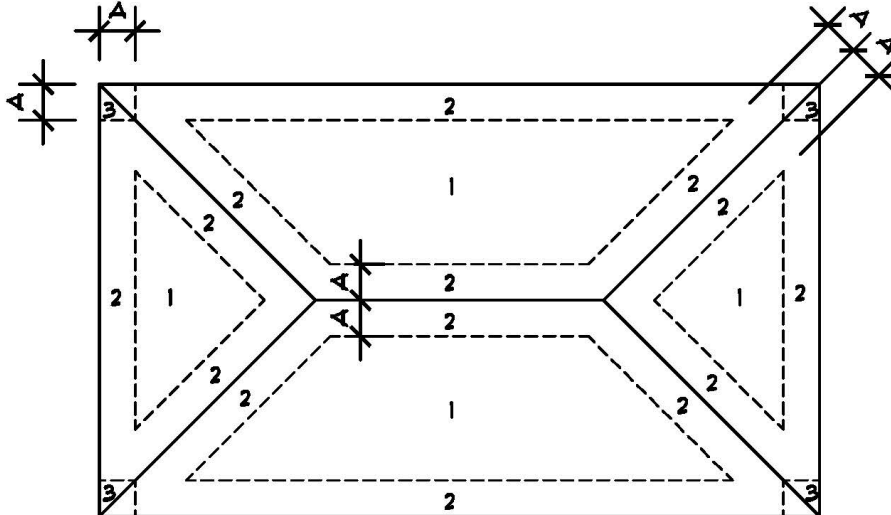
TABLE VALUES HAVE BEEN MULTIPLIED BY 0.6 TO CONVERT COMPONENT AND CLADDING PRESSURES TO ASD. (ALLOWABLE STRESS DESIGN)

WIND PRESSURE FOR WALL COMPONENTS AND CLADDING (P.S.F.)

145 MPH ULTIMATE WIND LOAD

OPENING AREA		WALL AREA	
		4	5
10 FT. SQ.	PRESSURE	+21.6 PSF	+21.6 PSF
	SUCTION	-29.0 PSF	-36.3 PSF
20 FT. SQ.	PRESSURE	+26.3 PSF	+26.3 PSF
	SUCTION	-28.4 PSF	-33.5 PSF
50 FT. SQ.	PRESSURE	+24.1 PSF	+24.1 PSF
	SUCTION	-26.0 PSF	-30.3 PSF
100 FT. SQ.	PRESSURE	+23.4 PSF	+23.4 PSF
	SUCTION	-24.8 PSF	-28.4 PSF
500 FT. SQ.	PRESSURE	+20.6 PSF	+20.6 PSF
	SUCTION	-22.4 PSF	-22.4 PSF

TABLE VALUES HAVE BEEN MULTIPLIED BY 0.6 TO CONVERT COMPONENT AND CLADDING PRESSURES TO ASD. (ALLOWABLE STRESS DESIGN)



END ZONE DISTANCE:
10% OF LEAST HORIZONTAL DIMENSION OR 40% OF EAVE HEIGHT, WHICHEVER IS LESS BUT NOT LESS THAN EITHER 4% OF THE LEAST HORIZONTAL DIMENSION OR 4 FEET.

ZONE 2 = 4'-0"
ZONE 3 = 4'-0"
ZONE 5 = 4'-0"

1/2" CDX SHEATHING

6D NAILS @ 4" O.C.
* ALL PANEL EDGES TYP.

6D NAILS @ 6" O.C.
* ALL INTERMEDIATE SUPPORT MEMBERS TYP.

2X STUDS @ 16" O.C.

WALL SHEATHING NAILING DETAIL

END CONDITION

STRUCTURAL SPECIFICATIONS:

WARNING:

THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDANT UPON THE COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION IS SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

CAST IN PLACE CONCRETE:

- ALL REINFORCED CONCRETE SHALL BE NORMAL WEIGHT. THE MINIMUM 28 DAY COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS:
 - SLAB ON GRADE = 3000 PSI MIN.
 - FOOTINGS, COLUMNS, TIE BEAMS = 3000 PSI
 - PRECAST "U" BLOCK = 4000 PSI
 - FILLED CELLS = 3000 PSI
- CONCRETE REINFORCING STEEL SHALL BE GRADE 60
- WELDED WIRE FABRIC SHALL BE 6" X 6" - W4/W4

WOOD FRAMING:

- ALL STRUCTURAL LUMBER AND EXTERIOR FRAMING SHALL BE 1/2 SOUTHERN YELLOW PINE OR BETTER UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL WOOD FRAMING SHALL CONFORM TO THE APPLICABLE REQUIREMENTS SET FORTH IN THE FLORIDA BUILDING CODE SIXTH ADDITION (2017) AND SHALL INCLUDE BUT NOT BE LIMITED TO CONNECTIONS, BRACING, BRIDGING AND NAILING.

FOUNDATION REINFORCING:

- THE REQUIRED MINIMUM LAP SPICE FOR REBARS SHALL BE (40 BAR DIAMETERS).
- EMBED FOOTING DOUELLS 6" MINIMUM INTO FOOTINGS, EXTEND INTO TIE BEAMS AND BEND HOOKS OVER TOP BAR 28" MINIMUM.

CARPENTRY:

- DIMENSIONED LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.
- ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
- ALL LUMBER SHALL BE SOUTHERN PINE NO. 2 GRADE OR BETTER WITH 15% MAXIMUM MOISTURE CONTENT.
- ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
- PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH F5, IT-11-5711 AND BEAR THE AMERICAN WOOD PRESERVERS INSTITUTE QUALITY MARK LP-2.
- PLYWOOD SHEATHING SHALL BE CDX WITH EXTERIOR GLUE. ALL ROOF SHEATHING TO BE INSTALLED WITH PLYCLIPS.
- INSTALL BRIDGING IN ALL FLOOR OR ROOF JOISTS AT 8'-0" O.C. MAXIMUM. INSTALL BLOCKING IN ALL WALL STUDS @ MID-HIGHT.
- ALL NAILING AND BOLTING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS.
- ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONGTIE CO.
- PROVIDE A SINGLE PLATE AT THE BOTTOM AND DOUBLE PLATE AT THE TOP OF ALL LOAD BEARING STUD WALLS. ALL PLATES SHALL BE BOLTED TO FOUNDATION AT A MAXIMUM OF 4'-0" O.C.
- STUDS SHALL BE DOUBLED AT ALL ANGLES AND AROUND ALL OPENINGS. STUDS SHALL BE TRIPLED AT ALL CORNERS.
- ALL OUTSIDE CORNERS SHALL BE BRACED WITH A DIAGONAL 1 X 4 LET INTO OUTSIDE EDGE OF 2 X 4 STUDS, UNLESS PLYWOOD SHEATHING IS SHOWN ON DRAWINGS.

DESIGN CRITERIA

FLORIDA BUILDING CODE SIXTH EDITION (2017)

ULTIMATE WIND LOAD	145 MPH
EXPOSURE	"C"
PROTECTION OF OPENINGS	ENCLOSED
INTERNAL PRESSURE COEF.	+0.18 , - 0.18
RISK CATEGORY	II
SOIL DESIGN BEARING CAPACITY	2,000 PSF
COMPONENTS & CLADDING	REFER TO INDIVIDUALS ITEMS ON FLOOR PLANS
REFER TO WOOD TRUSS NOTES THIS SHEET FOR TRUSS LOADS	

ROOF LIVE LOAD = 20 PSF
ROOF DEAD LOAD = 20 PSF
TOTAL ROOF LOAD = 40 PSF
FLOOR LIVE LOAD = 40 PSF
FLOOR DEAD LOAD = 20 PSF
TOTAL FLOOR LOAD = 60 PSF

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.



architects • planners
Lic. # AA-0003347
2600 Dr. MLK Jr. Street N. Suite 600,
(p) 727-323-5676
info@architectonicsstudio.com
St. Petersburg, FL 33704
(f) 727-323-5826
www.architectonicsstudio.com

1001 Bay ST NE

Renovation

Florida

St. Petersburg,

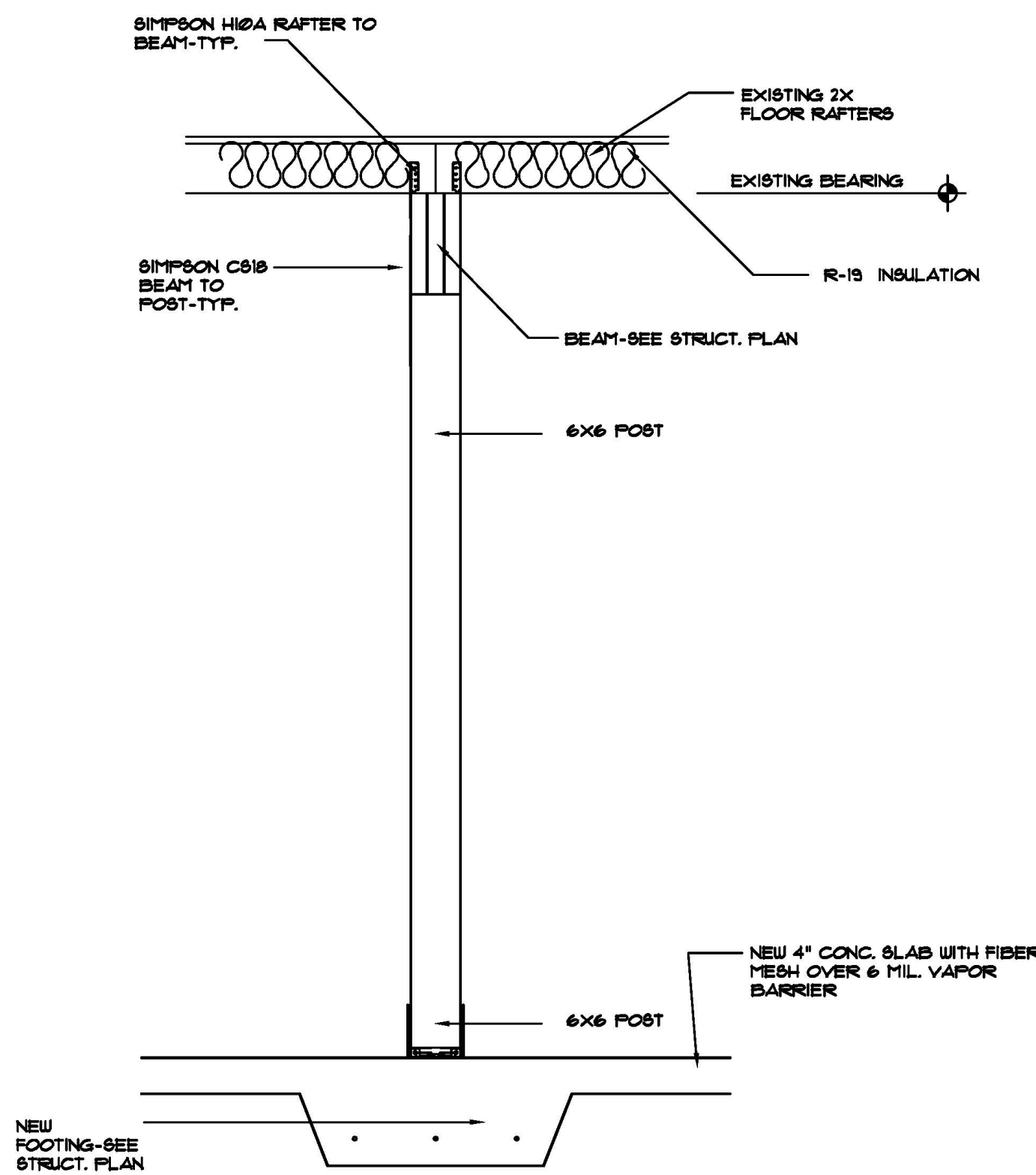
Structural Notes

Project No. 2019-283R	Revisions:
Date Dec. 15, 2019	

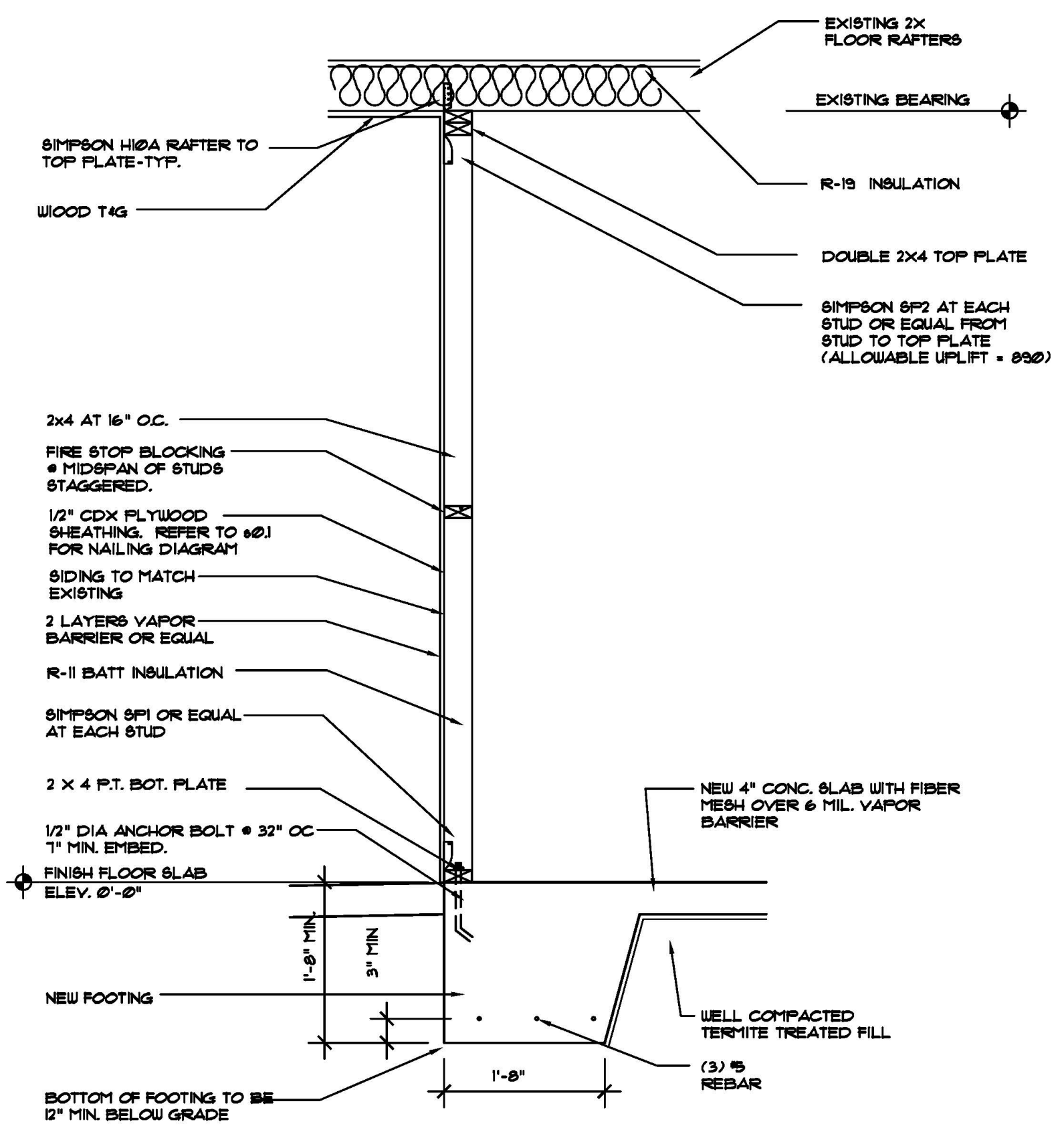


MICHAEL ARRIEGO
LIC. NO. AR0017335

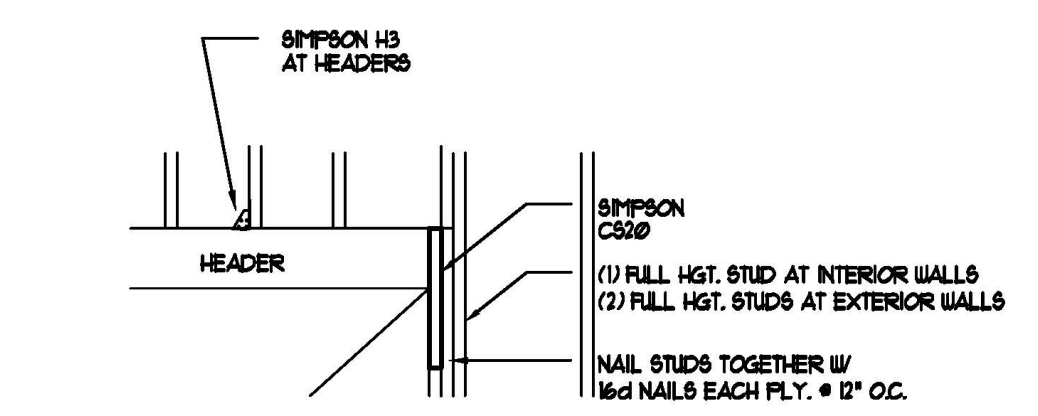
s0.1



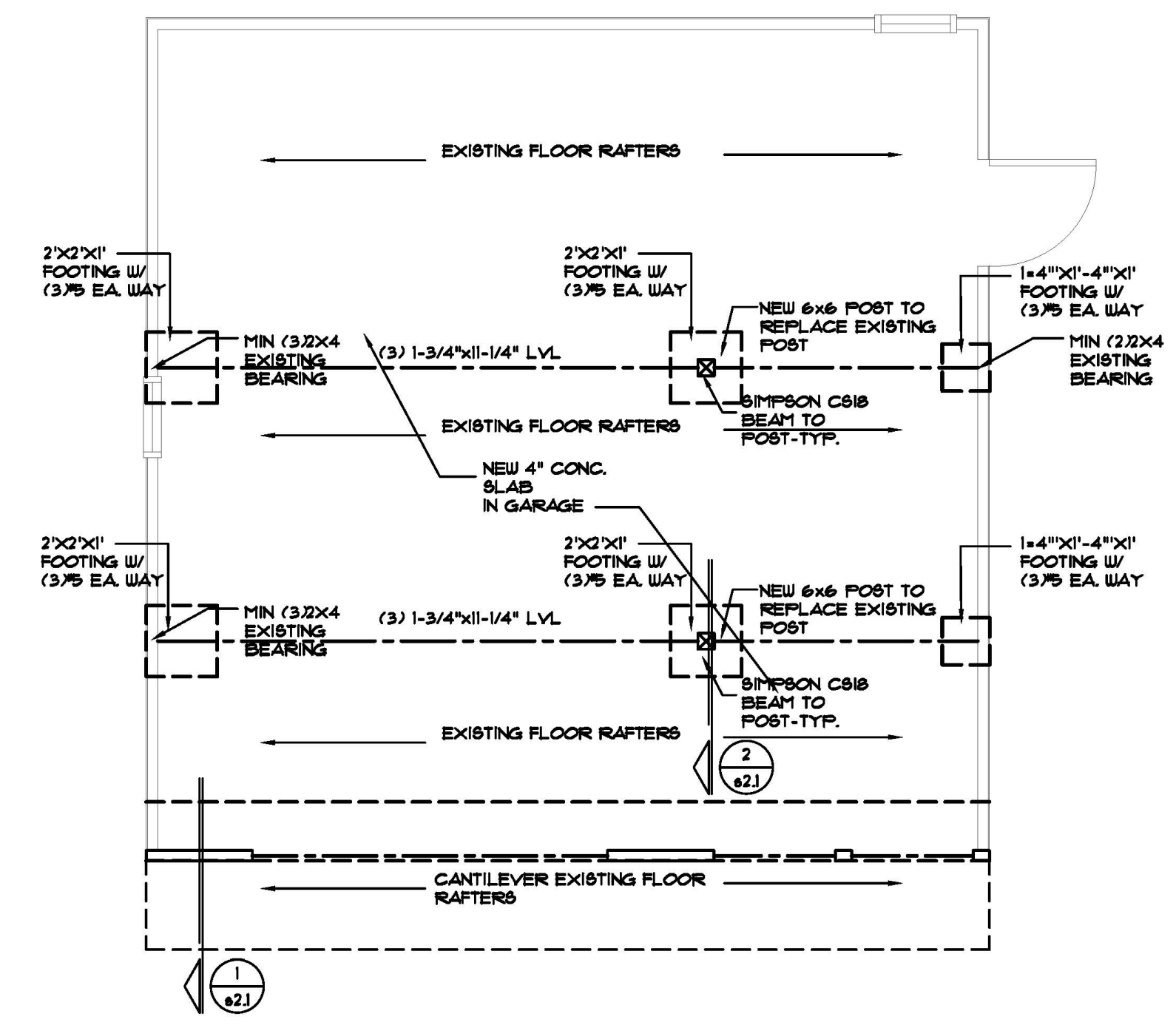
TYPICAL WALL SECTION **2**
SCALE: 3/4" = 1'-0"
s2.1



TYPICAL WALL SECTION **1**
SCALE: 3/4" = 1'-0"
s2.1



TYPICAL HEADER **3**
SCALE: NTS
s2.1



STRUCTURAL PLAN
SCALE: 1/4" = 1'-0"
DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN ON THE DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.

Kelly K. Perkins

From: Peter Ford <peter@terrierproperties.com>
Sent: Wednesday, December 11, 2019 10:02 AM
To: Kelly K. Perkins
Subject: 1001 bay st ne

Follow Up Flag: Follow up
Flag Status: Completed

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Kelly,

I met with my architect yesterday. If I push the front wall in 3 ft, I cannot put an overhead garage door in due to a beam in the way. I am considering installing actual carriage house doors <https://www.carriagedoor.com/steel-collection-models-specifications/> and reducing the opening from 12 to 10 ft. Do I need to change anything on your end for this?

Peter Ford



Carriage House Door

COMPANY



STEEL COLLECTION





STEEL DOORS

The same attention to detail in our wood Carriage House line has been incorporated in our Steel Collection. What separates us from the competition is the sculpted edge detail on our trim, and our window construction, which allows us to give you the authentic look of true-divided lites.

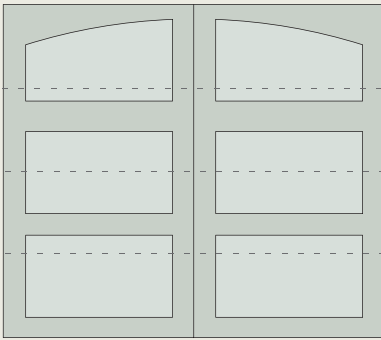
These doors are available in our 2" steel-backed, insulated door. Our Steel Collection features five models. All of these basic designs can be finished with optional window designs and arched top sections and can be enhanced with the large variety of decorative hardware we have available.

In addition to our five basic models, we pride ourselves on building custom designs which meet our customers' specific needs.

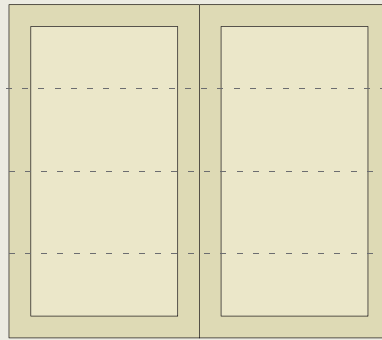








301



302

Steel Door Specifications:

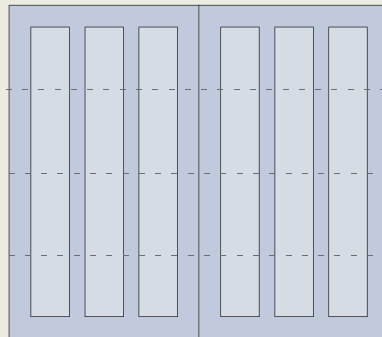
Sections: 2 inch steel-back insulated

Overlay: Extira is bonded to the facing with exterior adhesive.

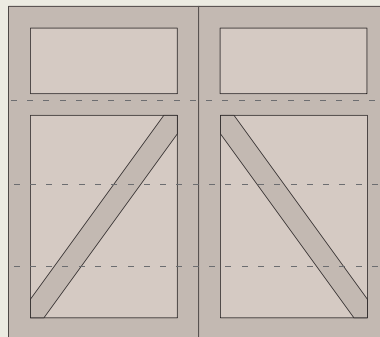
Core: 2 EPS, Polystyrene insulation.

Windows: 1/8 inch DSB (Standard) stopped and sealed in place. However, many other types of glass are available and optional.

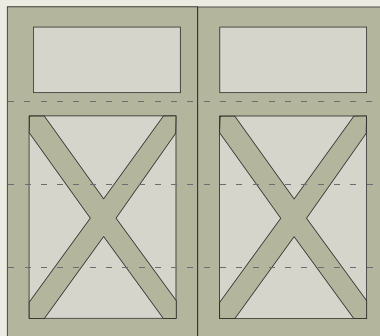
Designs: Five basic designs are offered. All are available with windows and custom arch; please provide template with custom arch. Special designs are available when detailed drawings are supplied.



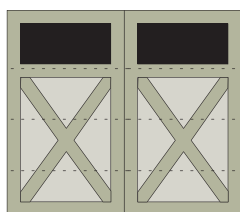
303



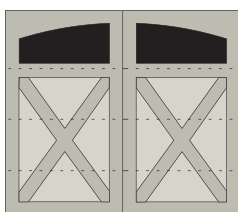
304



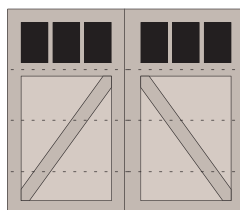
305



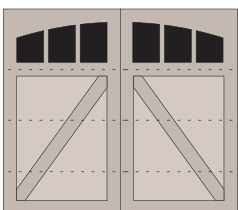
305-A



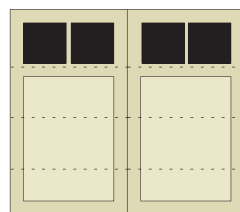
305-B



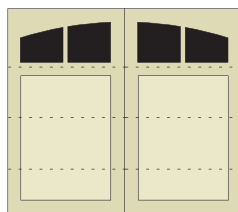
304-C



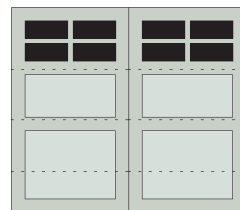
304-D



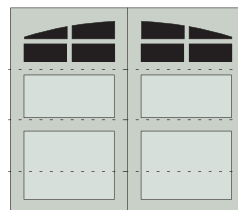
302-E



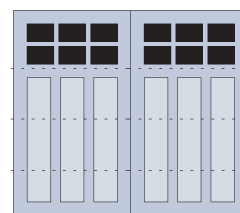
302-F



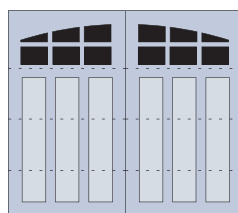
301-G



301-H



303-i



303-J



A



B



C



D



E



F



G



H



i



J

West Coast

121 Main Ave.
Sacramento, CA 95838

866-890-1776

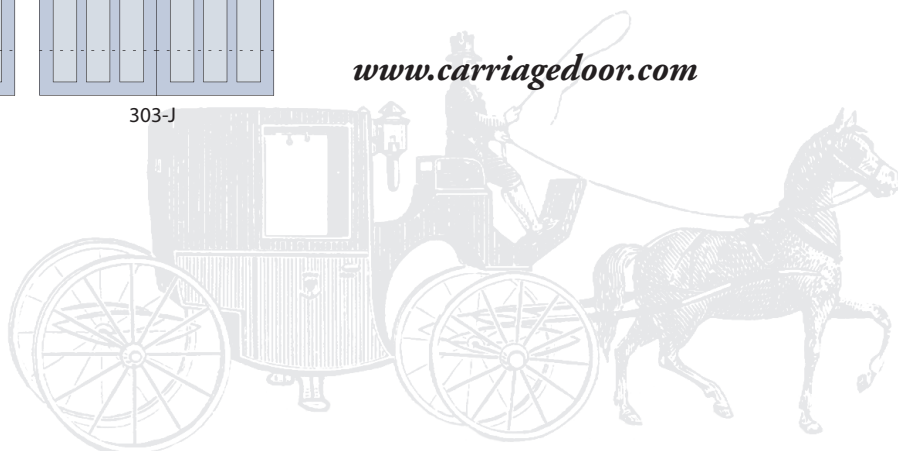
Sales@carriagedoor.com

East Coast and Midwest
1571 East Main St/Hwy 70
Old Fort, NC 28762

877-668-1601

SalesNC@carriagedoor.com

www.carriagedoor.com



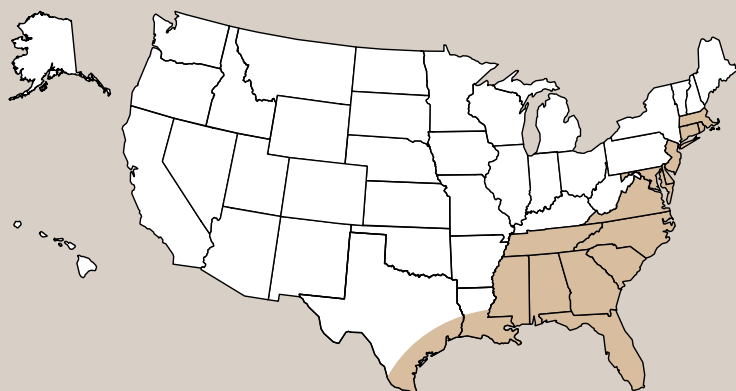


ENDURING QUALITY. TIMELESS DESIGN.


www.carriagedoor.com



BUILT TO ENDURE WITH STRENGTH AND BEAUTY



JELD-WEN® PREMIUM ATLANTIC VINYL—U.S. AVAILABILITY

 All window styles in this catalog are available in the states that are highlighted in tan.



Homeowners everywhere have recognized vinyl as one of the most functional and versatile materials for windows of enduring quality. Now with JELD-WEN® Premium Atlantic Vinyl windows and patio doors, there are more choices than ever before, including architectural features that add to the aesthetic value of the home and ImpactGard® protection.

JELD-WEN’s promise of reliability is your assurance that the windows you choose will perform beautifully while offering the added value of energy efficiency. We are proud to say that our products are supported by a superior lifetime warranty—just one more way to say reliability. In this catalog, you'll find comprehensive information about our JELD-WEN® Premium Atlantic Vinyl windows. To learn about installation, maintenance and to review our warranty, visit www.jeld-wen.com/resources.



Table of Contents

Features and Options.....	4	Fixed, Radius and Geometric Windows.....	14
Glass Options.....	6	Sliding Patio Doors.....	15
Casement Windows.....	10	Single-Panel Swinging Patio Doors.....	16
Awning Windows.....	11	Double-Panel Swinging Patio Doors.....	17
Single-Hung Windows.....	12	Product Specifications.....	18
Roller Windows.....	13	Warranty.....	96
		About JELD-WEN.....	99

DEFINING DESIGN CONSIDERATIONS

JELD-WEN® Premium Atlantic Vinyl windows offer specific design features that make them an ideal choice from several perspectives, especially from an architectural point of view. Consider how the following details add to the overall aesthetic of the home.



Colors

JELD-WEN Premium Atlantic Vinyl windows are available in White or Desert Sand, which is a pleasing shade designed to complement many popular trim and house paint colors as well as JELD-WEN clad-wood window colors. And because the vinyl is extruded, the color goes all the way through, so it will not chip, crack, peel or discolor when exposed to the elements.

Actual colors may vary from the samples displayed.

Divided lites

Simulated divided lites (SDL)

For a true “paned” window look, our simulated divided lites are surface-mounted on the exterior of the glass.

Grilles between the glass (GBG)

With grilles between the glass, you’ll enjoy the look of divided lites without any upkeep because they are placed between the two panes of insulating glass. Available in 5/8" and 7/8" flat and 5/8" contour.

Not available on single-glazed units.

Grilles between the glass



5/8" or 7/8"
Flat Grilles



5/8"
Contour Grilles



Simulated divided lites (SDL)
Shown with ImpactGard® sill

WINDOW FRAME SPECIFICS

All JELD-WEN Premium Atlantic Vinyl window frames are assembled utilizing fusion-welded technology for added strength and durability.

Integral nailing fin

It's important to note that JELD-WEN Premium Atlantic Vinyl windows are available with or without the integral nailing fin. This nailing fin is formed as part of the frame rather than an add-on, making it a stronger frame and allowing for a more stable installation.

Frame options

J-channel

This option allows siding to be tucked out of sight for a clean line.

Brickmould

With this exterior casing, an aesthetic boundary is created between the siding and frame.

Flange

This option is suitable for common installation into a wood buck in concrete block construction.

Box frame

A box frame can be placed into an existing frame and finished with existing trim.



AN ARRAY OF GLASS SOLUTIONS

The glass you choose for your JELD-WEN® Premium Atlantic Vinyl windows will not only add to the beauty of the home, it will contribute greatly to its energy efficiency. With the option of Low-E glass, these windows meet the most stringent ENERGY STAR® requirements and can help decrease home energy costs.

Textured and tinted glass

In addition to high-performance glass options, we offer textured and tinted glass. Textured glass will enhance a home's visual appeal, while tinted glass protects against harsh direct sunlight. Options are shown below.

Textured glass



Obscure

Actual colors may vary from the samples displayed.

Tinted glass



Bronze



Green



Azurite



Grey



Low-E

Note: Glass types are subject to regional availability.

Low-E and LoE³-366

Our standard high-performance Low-E insulating glass lowers energy costs, helps homes stay cooler in the summer and warmer in the winter, prevents fading of interior furnishings, and reduces condensation. It also delivers greater visible light transmittance than tinted glass. As an option, you can select Low-E glass with argon for added insulation. We also offer optional LoE³-366, which offers more protection against heat gain, as well as greater energy savings.

With either Low-E or LoE³-366 glass, most of our windows and patio doors are ENERGY STAR® qualified. This means they exceed the minimum energy efficiency criteria for the climate region you live in.



In warm weather, Low-E glass reflects the sun's energy and reduces heat gain in the home.



In cold weather, Low-E glass reduces the amount of heat loss by reflecting it back inside.

Clear insulating glass

Clear insulating glass is standard on JELD-WEN Premium Atlantic Vinyl windows. It consists of two panes of glass, sealed with an airspace. There is a spacer in between the dual panes of glass, and the perimeter of the unit is sealed. This option offers maximum visible light transmittance and superb energy efficiency in most climates.

Tempered glass

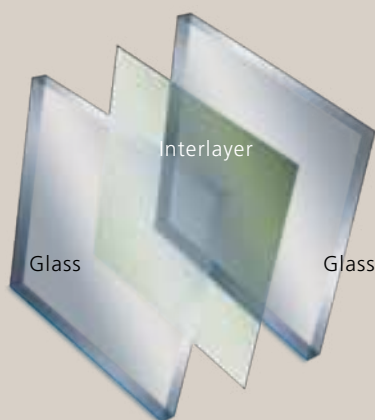
When glass is heat-treated during manufacturing, it is provided with extra strength, enabling it to withstand abnormal force or pressure on its surface so it will not break into sharp pieces. Local codes often require tempered glass to be used in all windows that are close to the floor or near doors, bathtubs or showers.



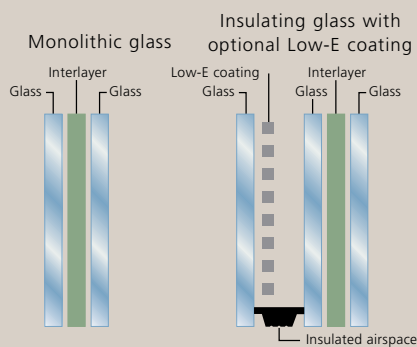
ImpactGard® protection

We offer optional ImpactGard protection, which is engineered and tested to stand up to the strong impacts of windborne debris, as well as the harsh conditions inherent to coastal areas. With the industry's leading laminated glass technology, windows with ImpactGard protection can withstand a nine-pound piece of lumber striking the glass head-on at approximately 34 miles per hour. In addition, it significantly reduces sound transmission, blocks up to 95 percent of harmful UV rays, and offers superior forced-entry resistance.

ImpactGard protection is available with two types of laminated glass (see illustration). Monolithic laminated glass is constructed by placing a plastic interlayer between two panels of glass. Insulated laminated glass includes the same components, plus an additional pane of glass on the exterior with a sealed airspace. The extra glass pane is available with an optional Low-E coating for greater energy efficiency and year-round comfort.



We use a superior interlayer, which is **100 times more rigid** than the industry standard and delivers **five times its tear strength**.



Note: Interlayer is colored for illustration purposes only. The interlayer is a clear color.



When strong winds enter a home through a broken window or door, the increased pressure can lift the roof and push walls outward.



ImpactGard protection helps prevent this by resisting impacts from windborne debris.

JELD-WEN® PREMIUM ATLANTIC VINYL WINDOWS AND PATIO DOORS





Offering you ease of maintenance and superior energy efficiency, JELD-WEN Premium Atlantic Vinyl windows give you the freedom to spend time on the things that matter most to you, like family.



SINGLE-HUNG WINDOWS

These single-hung windows have a clean, classic look appropriate for nearly any home. Each single-hung window features a stationary top sash and a bottom sash that slides vertically.

Standard features

- Color: White
- Frame jamb depth is 3"
- Frame comes with integral nailing fin
- Reinforcement is used in the meeting rail and horizontal sash
- Sash is 1-1/4" thick
- Insulating clear glass
- Finpile weatherstrip is applied along full perimeter of operating sash
- Flexible spiral balance system in matching vinyl is lubricated for smooth, maintenance-free operation
- Fiberglass Charcoal-color insect screen in an aluminum frame to match the color of the unit*

Optional features

- Color: Desert Sand
- Simulated divided lites: 1" contour
- Grilles between the glass: 5/8" and 7/8" flat; 5/8" contour
- Insulating glass available in Low-E, Tinted, Obscure or other specialty insulating glass
- Tempered glass
- Choose box, flange, J-channel or brickmould frame

ImpactGard® protection

- Laminated glass: single glazed or insulating
- Structurally reinforced sash stile
- Corrosion-resistant hardware and fasteners

For complete specifications, see pages 30–38.

**Insect screens are intended to allow air and light in and to keep insects out. They are not intended to stop children from falling through an open door or window. For safety screens or other security devices, contact your local building supply retailer.*



Interior

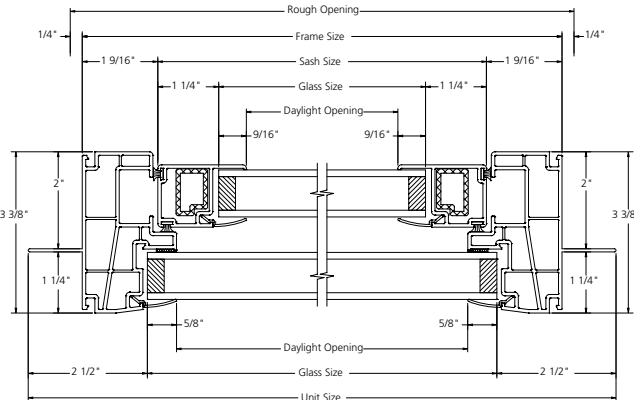
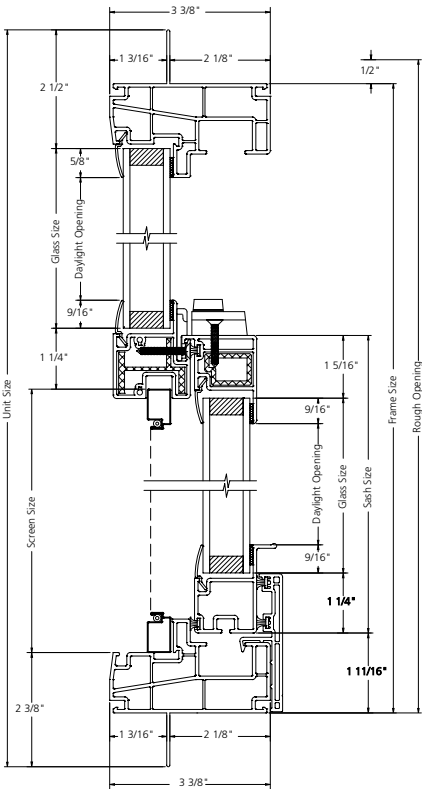
JELD-WEN® PREMIUM ATLANTIC VINYL WINDOWS AND PATIO DOORS PRODUCT SPECIFICATIONS



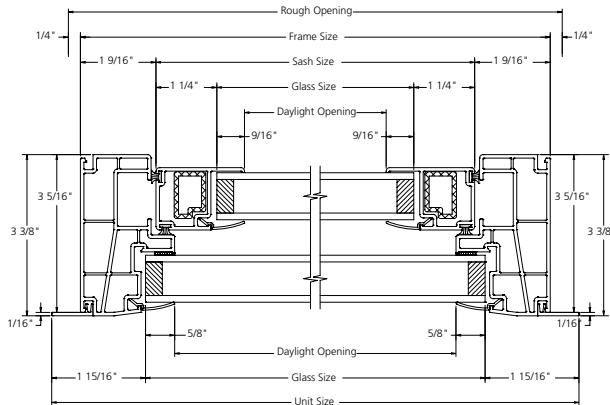
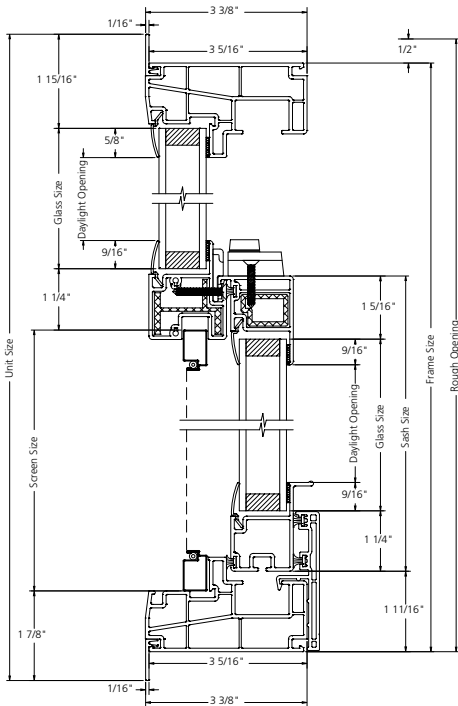
JELD-WEN reserves the right to change product specifications without notice.
Please check our website, www.jeld-wen.com, for current information.



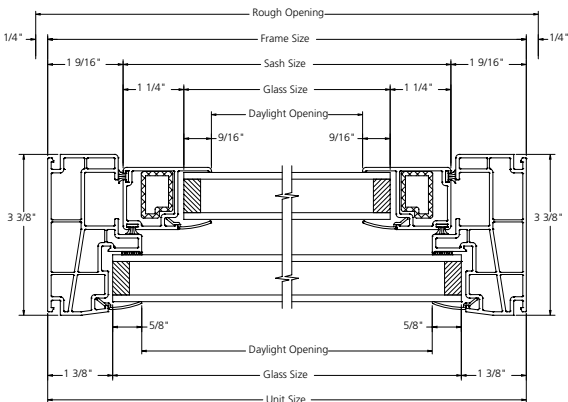
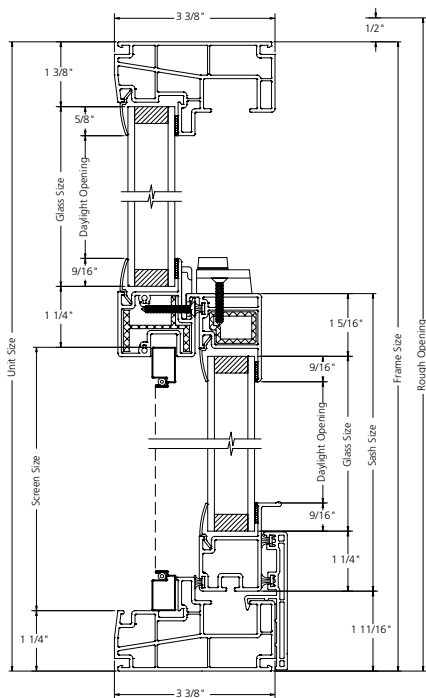
SINGLE-HUNG SECTION DETAILS
NAILING FIN



SINGLE-HUNG SECTION DETAILS
FLANGE



SINGLE-HUNG SECTION DETAILS
POCKET

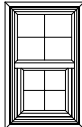
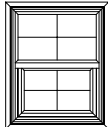
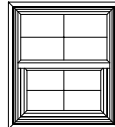
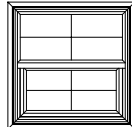
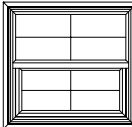
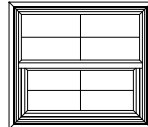
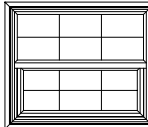
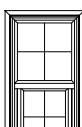
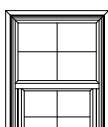
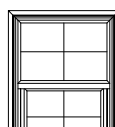
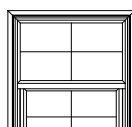
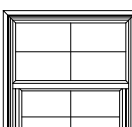
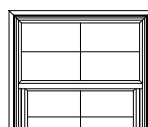

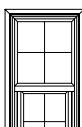
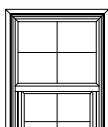
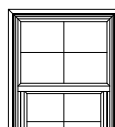
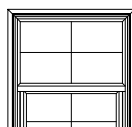
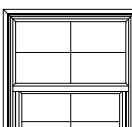
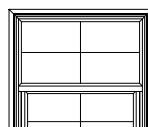
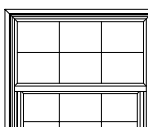
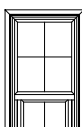
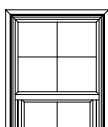
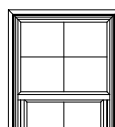
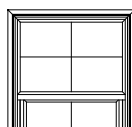
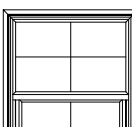
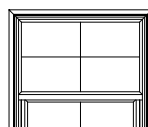
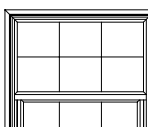
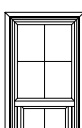
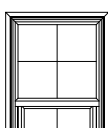
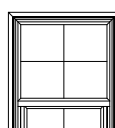
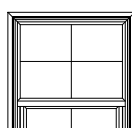
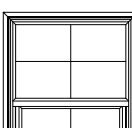
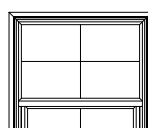
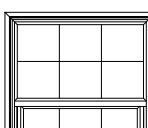
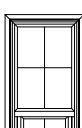
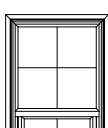
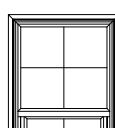
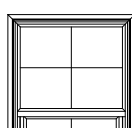
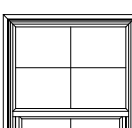
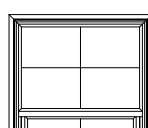
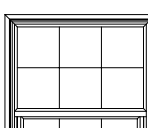
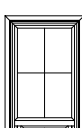
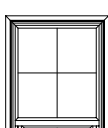
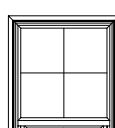
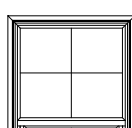
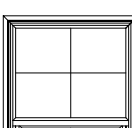
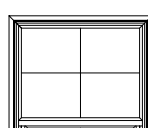
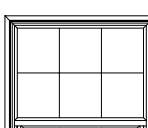
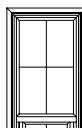
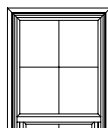
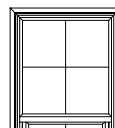
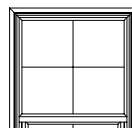
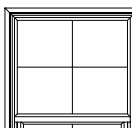
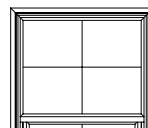
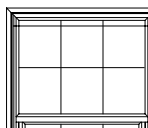


SINGLE-HUNG

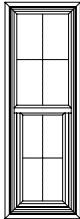
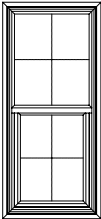
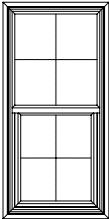
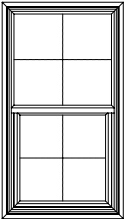
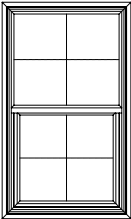
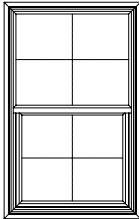
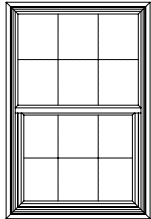
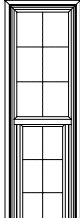
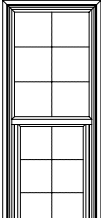
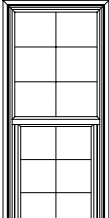
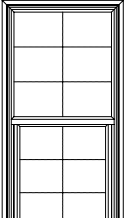
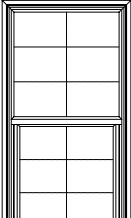
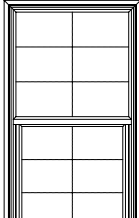
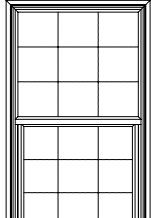
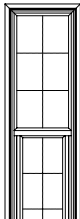
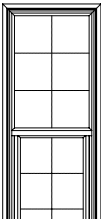
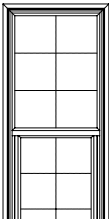
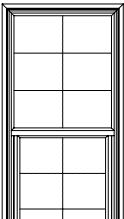
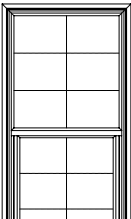
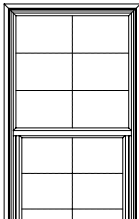
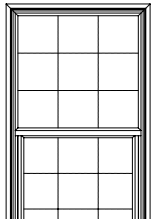
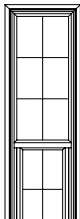
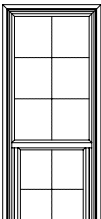
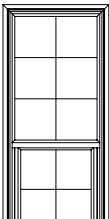
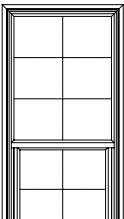
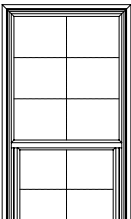
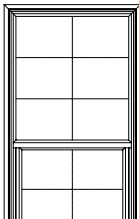
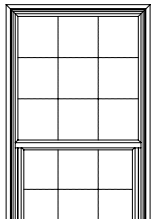
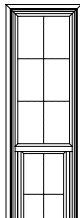
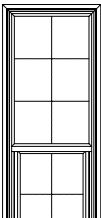
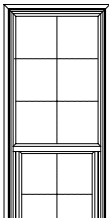
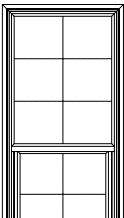
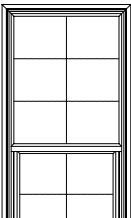
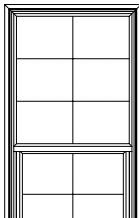
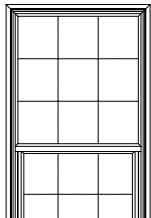
SINGLE-HUNG WINDOWS

SINGLE-HUNG UNITS

SINGLE HUNG

Rough Opening Frame Size	18 17 1/2"	24 23 1/2"	26" 25 1/2"	30 29 1/2"	32 31 1/2"	34" 33 1/2"	36" 35 1/2"
30" 29 1/2"	 8SH1830	 8SH2430	 8SH2630	 8SH3030	 8SH3230	 8SH3430	 8SH3630
36" 35 1/2"	 8SH1836	 8SH2436	 8SH2636	 8SH3036	 8SH3236	 8SH3436	 8SH3636
38 37 1/2"	 8SH1838	 8SH2438	 8SH2638	 8SH3038	 8SH3238	 8SH3438	 8SH3638
42 41 1/2"	 8SH1842	 8SH2442	 8SH2642	 8SH3042	 8SH3242	 8SH3442	 8SH3642
44" 43 1/2"	 8SH1844	 8SH2444	 8SH2644	 8SH3044	 8SH3244	 8SH3444	 8SH3644
48" 47 1/2"	 8SH1848	 8SH2448	 8SH2648	 8SH3048	 8SH3248	 8SH3448	 8SH3648
52 51 1/2"	 8SH1852	 8SH2452	 8SH2652	 8SH3052	 8SH3252	 8SH3452	 8SH3652
54" 53 1/2"	 8SH1854	 8SH2454	 8SH2654	 8SH3054	 8SH3254	 8SH3454	 8SH3654

SINGLE-HUNG UNITS (CONTINUED)

Rough Opening Frame Size	18 17 1/2"	24 23 1/2"	26" 25 1/2"	30 29 1/2"	32 31 1/2"	34" 33 1/2"	36" 35 1/2"
60" 59 1/2"	 8SH1860	 8SH2460	 8SH2660	 8SH3060	 8SH3260	 8SH3460	 8SH3660
62 61 1/2"	 8SH1862	 8SH2462	 8SH2662	 8SH3062	 8SH3262	 8SH3462	 8SH3662
66" 65 1/2"	 8SH1866	 8SH2466	 8SH2666	 8SH3066	 8SH3266	 8SH3466	 8SH3666
72" 71 1/2"	 8SH1872	 8SH2472	 8SH2672	 8SH3072	 8SH3272	 8SH3472	 8SH3672
74 73 1/2"	 8SH1874	 8SH2474	 8SH2674	 8SH3074	 8SH3274	 8SH3474	 8SH3674

SINGLE HUNG

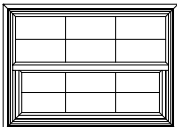
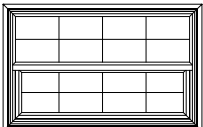
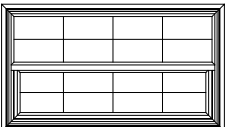
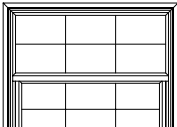
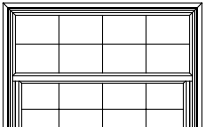
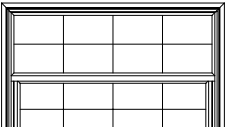
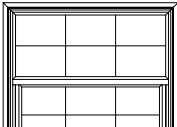
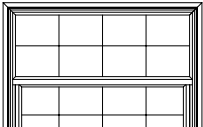
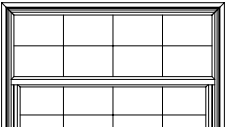
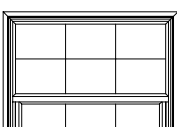
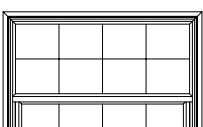
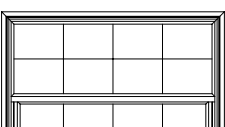
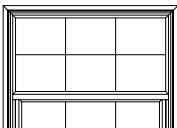
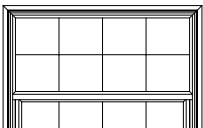
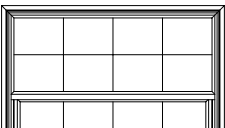
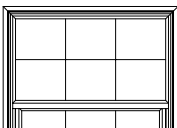
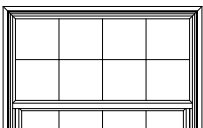
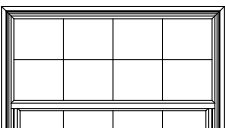
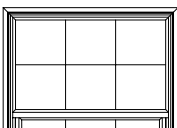
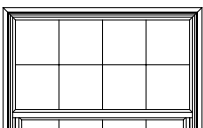
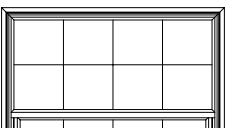
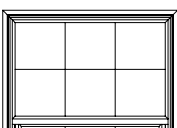
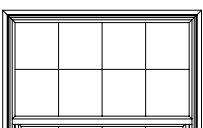
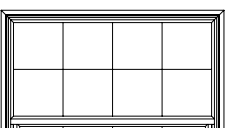
ELEVATION SYMBOL LEGEND

E BASIC UNIT CLEAR OPENING EXCEEDS 20" IN WIDTH, 24" IN HEIGHT & A MINIMUM OF 5.7 SQ. FT.

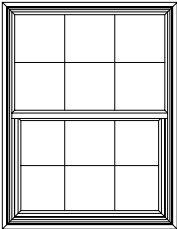
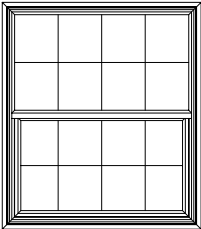
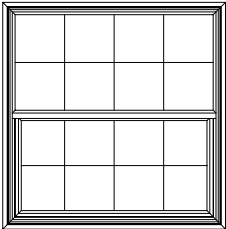
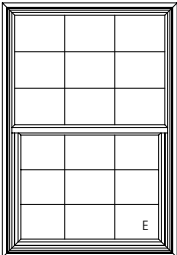
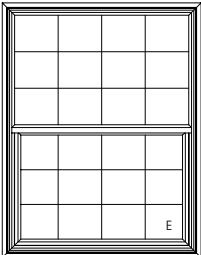
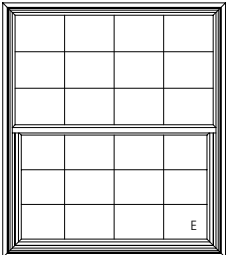
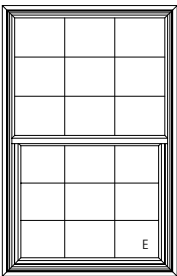
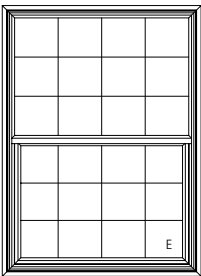
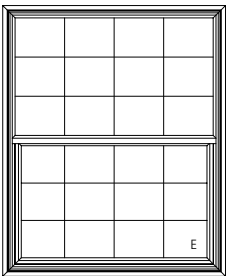
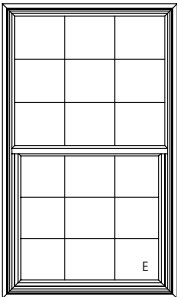
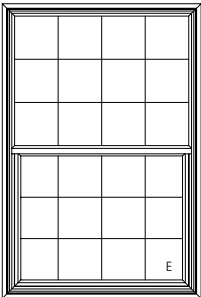
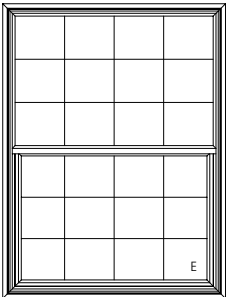
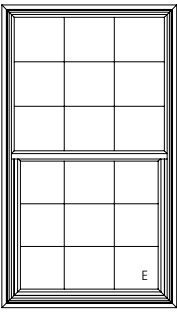
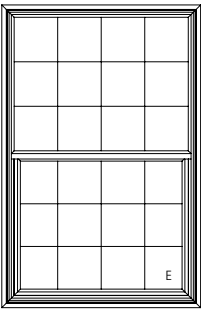
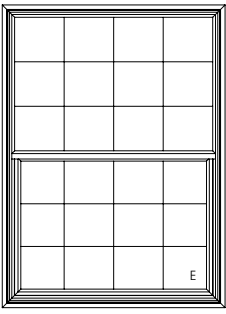
SINGLE-HUNG WINDOWS

SINGLE-HUNG UNITS (CONTINUED)

SINGLE HUNG

Rough Opening Frame Size	42 41 1/2"	48" 47 1/2"	54" 53 1/2"
30" 29 1/2"	 8SH4230	 8SH4830	 8SH5430
36" 35 1/2"	 8SH4236	 8SH4836	 8SH5436
38" 37 1/2"	 8SH4238	 8SH4838	 8SH5438
42" 41 1/2"	 8SH4242	 8SH4842	 8SH5442
44" 43 1/2"	 8SH4244	 8SH4844	 8SH5444
48" 47 1/2"	 8SH4248	 8SH4848	 8SH5448
52" 51 1/2"	 8SH4252	 8SH4852	 8SH5452
54" 53 1/2"	 8SH4254	 8SH4854	 8SH5454

SINGLE-HUNG UNITS (CONTINUED)

Rough Opening Frame Size	42 41 1/2"	48" 47 1/2"	54" 53 1/2"
60" 59 1/2"	 8SH4260	 8SH4860	 8SH5460
62 61 1/2"	 8SH4262	 8SH4862	 8SH5462
66" 65 1/2"	 8SH4266	 8SH4866	 8SH5466
72" 71 1/2"	 8SH4272	 8SH4872	 8SH5472
74 73 1/2"	 8SH4274	 8SH4874	 8SH5474

SINGLE HUNG

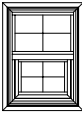
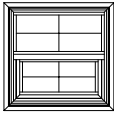
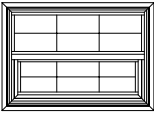
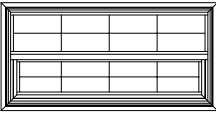
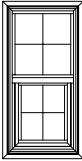
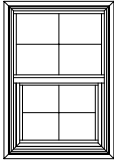
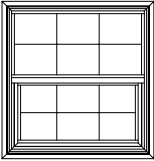
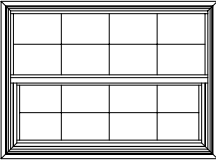
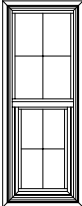
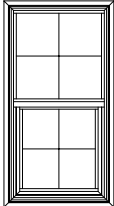
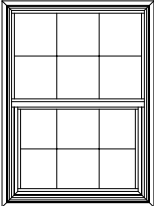
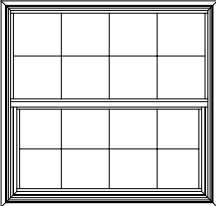
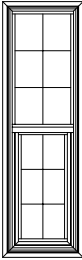
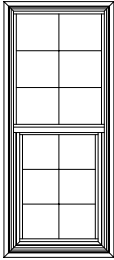
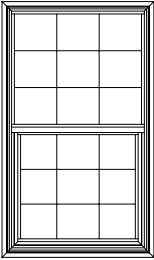
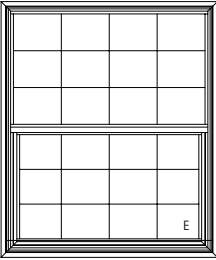
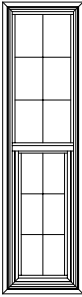
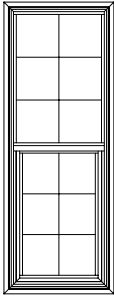
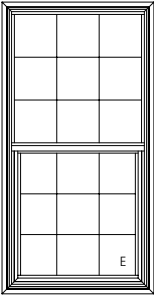
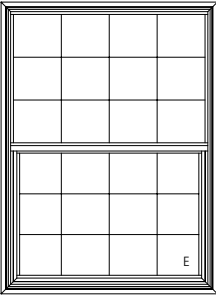
ELEVATION SYMBOL LEGEND

E BASIC UNIT CLEAR OPENING EXCEEDS 20" IN WIDTH, 24" IN HEIGHT & A MINIMUM OF 5.7 SQ. FT.

SINGLE-HUNG WINDOWS

SINGLE-HUNG UNITS - FLORIDA SIZES

SINGLE HUNG

Rough Opening Frame Size	18 3⁄8" 17 7⁄8"	25 3⁄4" 25 1⁄4"	36 1⁄4" 35 3⁄4"	52 3⁄8" 51 7⁄8"
25 1⁄4" 24 3⁄4"	 8SH-12	 8SH-H32	 8SH-22	 8SH-32
37 3⁄8" 37 3⁄8"	 8SH-13	 8SH-H33	 8SH-23	 8SH-33
49 7⁄8" 49 3⁄8"	 8SH-14	 8SH-H34	 8SH-24	 8SH-34
62 1⁄4" 61 3⁄4"	 8SH-15	 8SH-H35	 8SH-25	 8SH-35
71 1⁄4" 70 3⁄4"	 8SH-16S	 8SH-H36S	 8SH-26S	 8SH-36S

ELEVATION SYMBOL LEGEND

- E BASIC UNIT CLEAR OPENING EXCEEDS 20" IN WIDTH, 24" IN HEIGHT & A MINIMUM OF 5.7 SQ. FT.



Appendix B:

Maps of Subject Property

12TH AVE NE

11TH AVE NE

BAY ST NE

200 Block 10th Ave NE
Local Historic District

10TH AVE NE

9TH AVE NE

OAK ST NE

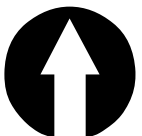
Community Planning and Preservation Commission

1001 Bay St NE

**AREA TO BE APPROVED,
SHOWN IN**



**CASE NUMBER
19-90200063**



N

**SCALE:
1" = 150'**



ty P ann ng and Preservat

ss on

1001 Bay St NE

AREA TO BE APPROVED,

CASE NUMBER

SHOWN IN



19-90200063



SCALE:
1" = 150'

Appendix C:

Photographs of Subject Property











